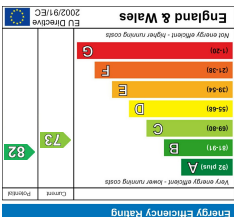
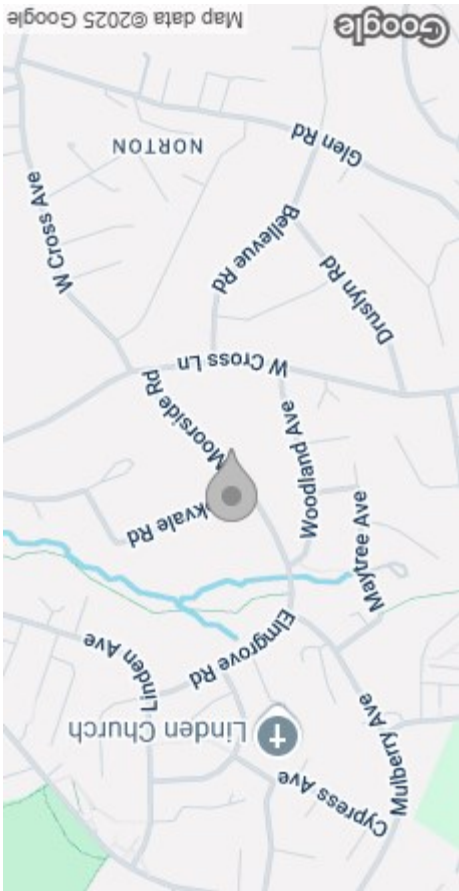


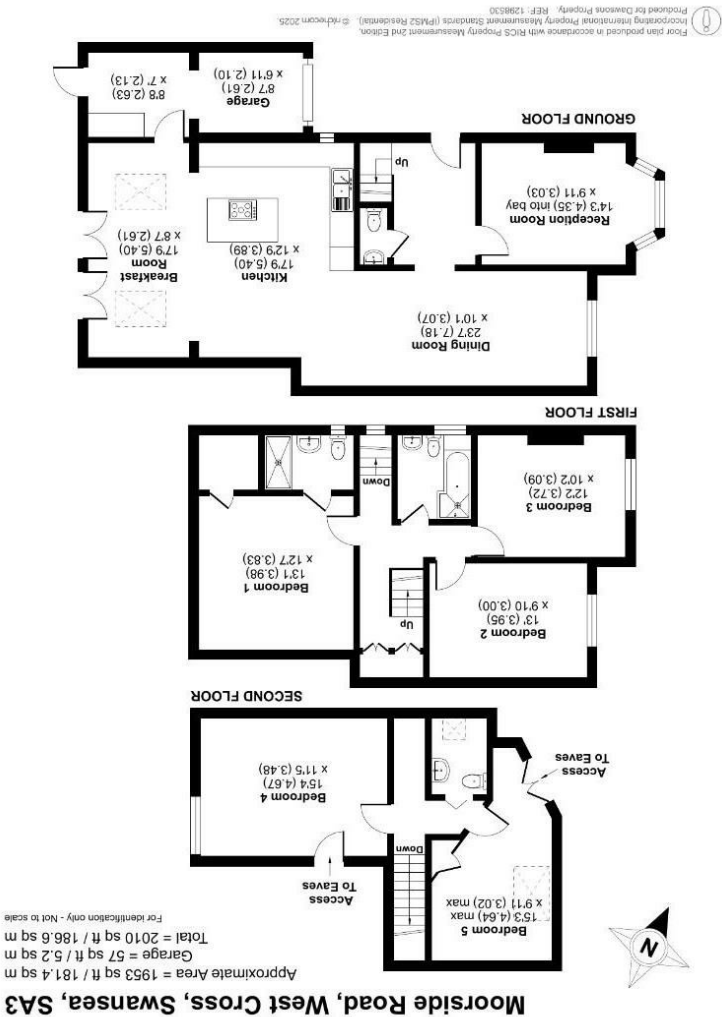
These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements or representations of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.



EPC



AREA MAP



FLOOR PLAN



17 Moorside Road
West Cross, Swansea, SA3 5EY
Asking Price £525,000



GENERAL INFORMATION

An outstanding opportunity to acquire this spacious, extended five bedroom traditional semi-detached family home, which has been completely renovated throughout to an exceptional standard.

The accommodation briefly comprises a separate formal lounge, and an impressive open-plan kitchen/dining/family room featuring a modern fitted kitchen and bi-fold doors that open onto the rear garden—perfect for modern family living and entertaining.

To the first floor, there are three well-proportioned bedrooms and a contemporary family bathroom. The second floor offers two additional bedrooms and a stylish wc, ideal for guests or growing families.

Externally, the property benefits from a block-paved driveway providing ample off-road parking for three to four vehicles. The rear garden is fully enclosed, featuring a patio area with steps leading up to a beautifully maintained lawn, bordered by mature shrubs and trees offering both privacy and charm.

This stunning home must be viewed internally to fully appreciate the generous proportions, high-quality finish, and flexible living space on offer.

FULL DESCRIPTION

Entrance Hall

WC

Reception Room
14'3 into bay x 9'11 (4.34m into bay x 3.02m)

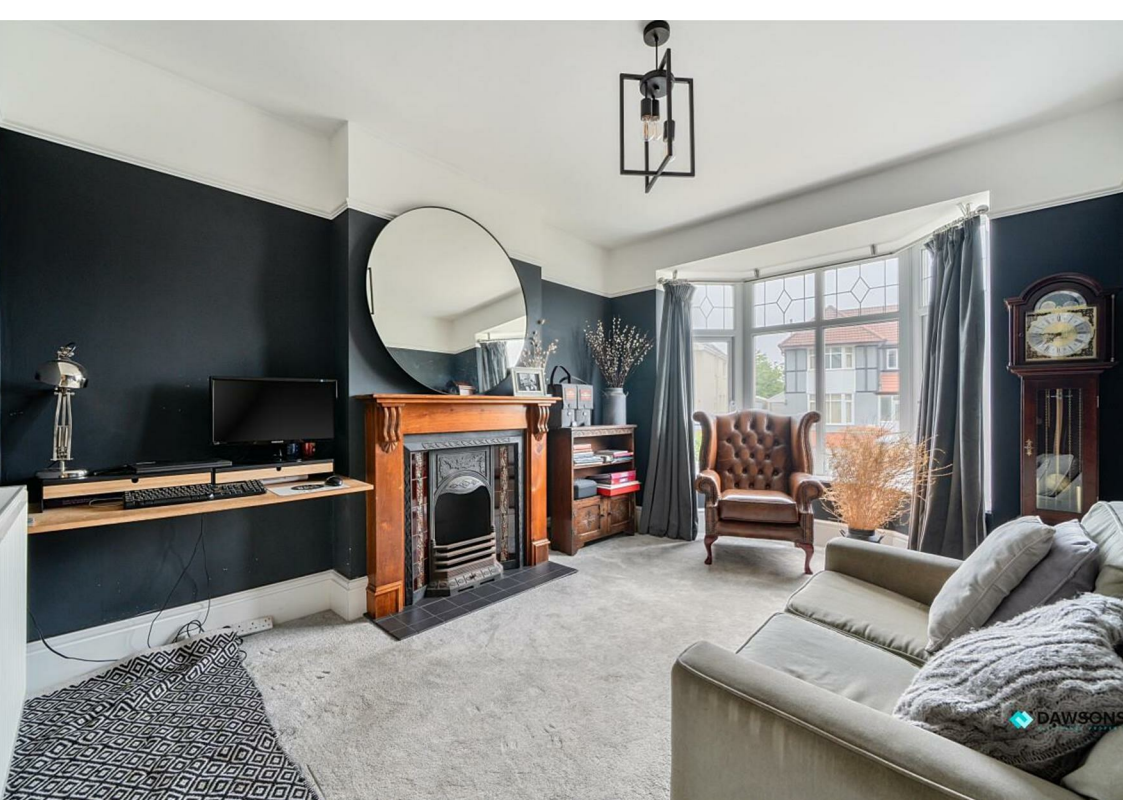
Dining Room
23'7 x 10'1 (7.19m x 3.07m)

Kitchen
17'9 x 12'9 (5.41m x 3.89m)

Breakfast Room
17'9 x 8'7 (5.41m x 2.62m)

Utility
8'8 x 7' (2.64m x 2.13m)

Garage
8'7 x 6'11 (2.62m x 2.11m)



Stairs To First Floor
Landing
Bedroom 1
13'1 x 12'7 (3.99m x 3.84m)
Ensuite

Bedroom 2
13' x 9'10 (3.96m x 3.00m)
Bedroom 3
12'2 x 10'2 (3.71m x 3.10m)

Bathroom
Stairs To Second Floor
Landing

Bedroom 4
15'4 x 11'5 (4.67m x 3.48m)
Bedroom 5
15'3 max x 9'11 max (4.65m max x 3.02m max)

WC

Parking
Parking is available at this property via the driveway for up to 3 vehicles.

Tenure
Freehold

Council Tax Band
E

EPC - C

Services
Main gas, electric, water & drainage, There is a water meter at the property. Broadband supplier is currently with Virgin. Please refer to Ofcom checker for further coverage information. The sellers have advised that there are known issues with mobile phone coverage, their current provider is Vodafone. Please refer to Ofcom checker for further information.

